

RESOLUTION # 97-10

RESOLUTION OF THE SUNNYSLOPE COUNTY WATER DISTRICT
RE WATER SERVICE TO LANDS OF PAINTER

Whereas, Alan & Sandra Painter (owner) and Anderson Homes (applicant) has submitted a letter to request water service to construct improvements on land for a Vesting Tentative Map known as "Lands of Painter" within the boundaries of the Sunnyslope County Water District (District) as described on the letter and diagram attached to this Resolution as Exhibit "A"; and

WHEREAS, Applicant has requested a formal expression of the District's intent to serve the property; and

WHEREAS, District intends to serve the property subject to the terms set forth in this resolution;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. It is the intent of the District to serve the development known as "Land of Painter" described in Exhibit "A" to this resolution and incorporated herein by this reference, on the same basis as the District will serve any other property or project located within the District's service area, provided adequate supplies are available in terms of quality and quantity.

2. In the event that water is available for service for service to Owner, Owner shall be required to follow all District rules and regulations for obtaining service from the District including, by not limited to, compliance within Chapter 3.48 of Title 3 of the Sunnyslope County Water District code, which establishes conservation standards for subdivisions. Further, said water shall be served on a first-come, first-serve basis.

3. This resolution shall not represent a commitment of District to serve water.

THE FOREGOING RESOLUTION was adopted at a regular meeting of the Board of Directors of the Sunnyslope County Water District held on December 11, 1997 by the following vote:

AYES: DIRECTORS Nelson, Hailstone, R. Anderson, D. Anderson & Fitch

NOES: DIRECTORS None.


ABSENT: DIRECTORS None.

SUNNYSLOPE COUNTY WATER DISTRICT

By 
Marchel Nelson, President

(SEAL)

ATTEST:


Bryan M. Yamaoka, Secretary



MH engineering Co.

225 Sixth Street, Ste. B
Hollister, CA 95023
(408) 637-1645
(408) 637-3412 Fax

16075 Vineyard Blvd.
Morgan Hill, CA 95037
(408) 779-7381 / 226-3050
Fax (408) 226-5712

November 26, 1997

Bryan Yamaoka
Sunnyslope County Water District
3416 Airline Hwy.
Hollister, CA 95023

RECEIVED

DEC 2 1997

SUNNYSLOPE CO.
WATER DISTRICT

RE: PAINTER

Dear Bryan,

We are processing the enclosed Tentative Map through the County of San Benito. On behalf of the owner, Mr. Painter, I am requesting an Intent to Serve Letter. I anticipate we will begin design of the improvements in December of January.

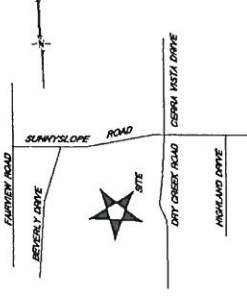
Give me a call if you have any questions or wish to discuss in more detail.

Sincerely,

Brian T. Curtis
Manager

encl.

VESTING TENTATIVE MAP "LANDS OF PAINTER"



VICINITY MAP

OWNER

ALAN AND SANDRA L. PAINTER
1513 HILLCREST RD.
HOLLISTER, CA 95023
TELEPHONE: (408) 637-2687

APPLICANT

ANDERSON HOMES
P.O. BOX 1237
LEWISVILLE, CA 94541
TELEPHONE: (408) 367-7600

NOTES

- COUNTY ZONING: R-R
EXISTING LAND USE: VACANT
PROPOSED LAND USE: RESIDENTIAL
- NUMBER OF LOTS: 4
TOTAL AREA: 2,489 Acres
TOTAL LOTS: 1,000
MAX. LOT SIZE: 0.625 Acres
AVG. LOT SIZE: 1.78 Lots/Acre
- WATER COMPANY: SUNNYSLOPE
SEWER OR SEPTIC SYSTEM: SEPTIC TANK OR CITY OF HOLLISTER
- ELECTRICITY, GAS: PG&E
TELEPHONE: PACIFIC BELL
- * IF CITY-SEWER IS NOT AVAILABLE, LOTS 1 & 2 WILL BE COMBINED AND LOTS 3 & 4 WILL BE COMBINED.

LEGEND

- CITY BOUNDARY
- TRACT BOUNDARY
- CONTOUR PER AERIAL TOPO, PREPARED 8/19/97
- EXISTING FENCE



CITY COUNTY

SCALE: 1"=50'

"SUNNYSLOPE VILLAGE No. 2"
BK. 11 M. PG. 82

